

8.0 Street Design Standards

8.1 Purpose and Intent: The Vision for Heart Of Bryant Area Plan recognizes the importance of providing adequate public infrastructure, which includes an ultimate Street Network of multi-modal streets, and other needed infrastructure to serve the vision for redevelopment within the Plan Area.

Street design and connectivity is envisioned to support and balance automobile, bicycle, and walking trips in addition to becoming the “civic” space for development. The “civic” nature of streets will not only serve private redevelopment, but the community at large and the people who live in and use it. This section establishes Context Sensitive Solutions for street design and connectivity.

8.2 Street Designation Categories: In order to service multiple modes of transportation within an appropriate redevelopment context, streets within the Plan Area are designated under two major categories:

(a) **Street Classification:** The Street Classification designation establishes standards for the actual cross-section of the street itself. The Street Classification includes information on automobile, bicycle, pedestrian, and parking accommodation. It typically addresses the space allocation within the public right-of-way and its emphasis towards different modes of transportation. Table 8-1 identifies the Street Classification designations within the Plan Area and provides cross-sections for the different Street Classifications.

(b) **Street Network:** In addition to Street Classification designations, streets are also identified as either required or recommended to implement the ultimate street network in the Illustrative Vision. The Regulating Plan (Attachment 1) illustrates the Recommended Street Network within the HOB Plan Area.

1. **Required Streets** – these are mainly existing, improved, or new streets that are needed to implement the ultimate street network envisioned in the Vision for the HOB . They shall be mandatory at the time of redevelopment including the requirement to dedicate right-of-way as identified in the Regulating Plan. The alignment of new Required Streets may be modified per Administrative Modifications in Section 3.3 of this Code.

2. Recommended Connections – these are new connections that are non-mandatory and only indicate the likely locations for new streets, pedestrian crossings or trail connections. Recommended Connections may be substituted by pedestrian passages (see Attachment 6), alleys, or public cross-access easements based on the specific redevelopment context.

8.3 Street Standards: Table 8-1 and Attachment 5 shall establish standards for all elements within the public right-of-way including travel lane(s), on-street parking, bicycle accommodation, streetscape/parkway standards, and sidewalk standards. The standards in the City's Subdivision Regulations shall apply to the extent that they do not conflict with the standards in these Attachments and the Illustrative Vision for the HOB Plan Area . Landscaping within the public right-of-way shall be per standards in Section 9. Attachment 5 provides recommended cross sections for public streets within the HOB Plan Area based on available right-of-way and intended development context per the Illustrative Vision.

Table 8-1: Street Classification Table

Street Classification	Reynolds Road	Boone Road	Mixed-Use Street	Neighborhood Street	Alley
Standard					
Min. Sidewalk width (includes planting zone and clear zone) (feet)	11'-6"	11'	10'	15' (one side)	N/A
Min. Planting Zone width (feet) [Street trees may be in tree wells along Type 'A' frontages]	5'	5'	5'	7'	N/A
Street Trees Req'd (see Section 9.2 for standards)	Yes (Tree wells or bioswale systems)	Yes (Tree wells or planting areas)	Yes (Tree wells or bioswale systems)	Yes (Tree wells or planting areas)	No
Recommended Development Frontage	Pedestrian Priority or Pedestrian-Friendly	Pedestrian Priority or Pedestrian-Friendly	Pedestrian Priority or Pedestrian-Friendly	Pedestrian Friendly or General	None

9.0 Open Space Standards

9.1 Open Space Approach: The Illustrative Vision for the HOB Plan Area recognizes the importance of providing a network of open spaces with passive and active recreational opportunities. The open space network will be serviced by an interconnected network of trails and paths for pedestrians and bicyclists alike, providing desired amenities for residents of Heart of Bryant and adjoining neighborhoods.

The approach to Open Space facilitates the implementation of the Illustrative Vision for the redevelopment of the Plan Area. This vision for redevelopment is based on the City of Bryant's goal to connect their already extensive range of recreational and cultural locations with new trails, pocket-parks, and plazas. The Open Space approach recognizes that in an urban infill context, the establishment of unique standards is required to ensure quality open spaces that serve both recreational and place making goals of the Illustrative Vision.

9.2 Open Space Classification: For the purposes of this Code, all urban open space shall fall into one of the following 2 major classes.

- (a) **Public Open Space:** Open air or unenclosed to semi-unenclosed areas intended for public access and use. These areas range in size and development and serve to complement and connect surrounding land uses and code requirements.
- (b) **Private Common Open Space:** A privately owned outdoor or unenclosed area, located on the ground or on a terrace, deck, porch, or roof, designed and accessible for outdoor gathering, recreation, and landscaping and intended for use by the residents, employees, and/or visitors to the development.

9.4 Open Space Requirements

- (a) All non-residential development shall provide 4.0 sq.ft. of Public Open Space or Private Common Open Space for every 100 sq.ft. of non-residential space or fraction thereof. This standard shall only apply to all site plans 2 acres in size or larger.
- (b) All residential development within the HOB shall meet the Private Common Open Space standards established in this Section. Table 9-1 establishes the private common open space requirement based on the

proposed intensity of residential development. Residential projects numbering less than 8 dwelling units are not required to provide private common open space.

Table 9–1 Private Common Open Space Requirements

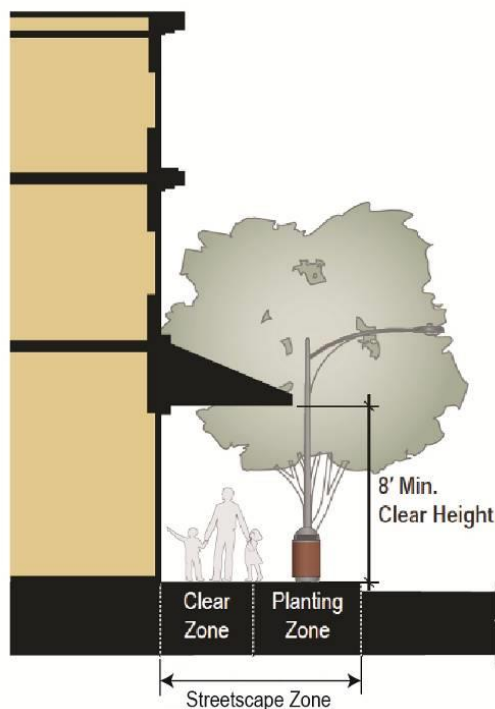
<i>Residential Density (dwelling units per acre)</i>	<i>Private Common Open Space Standard Proposed (area of private common space per dwelling unit)</i>
0 – 7 DU / acre	Not required
8 – 19 DU / acre	Provide minimum of 160 sf per dwelling unit
20 – 29 DU / acre	Provide minimum of 120 sf per dwelling unit
30 – 39 DU / acre	Provide minimum of 80 sf per dwelling unit
40 – 79 DU / acre	Provide minimum of 60 sf per dwelling unit
More than 80 DU / acre	Provide minimum of 40 sf per dwelling unit

- (c) Table 9–3 and Attachment 6 shall provide the palette of open/civic space types.
- (d) Any off–site dedicated parkland (public or private) per Section 9.0 may be used to meet up to fifty (50) percent of any required publicly accessible Open Space.
- (e) Any on–site dedicated parkland (public or private) per Section 9.0 may be used to meet up to one hundred (100) percent of any required publicly accessible Open Space.

10.0 Streetscape and Landscape Standards

10.1 Sidewalks. Public sidewalks are required for all development under this code and shall meet the standards of Table 10–1 and shall be based on the Street Classification per Table 8–1 and Attachment 5. The minimum sidewalk width requirement shall apply regardless of the available right–of–way. If necessary to meet the required sidewalk width, the sidewalk shall extend onto private property to fulfill the minimum requirement, with a sidewalk easement provided. Sidewalks shall consist of two zones: a planting zone located adjacent to the curb, and a clear zone (see Figures 10–1).

- (a) **Planting Zone:** The planting zone is intended for the placement of street trees, if required, and street furniture including seating, street lights, waste receptacles, fire hydrants, traffic signs, newspaper vending boxes, bus shelters, bicycle racks, public utility equipment such as electric transformers and water meters, and similar elements in a manner that does not obstruct pedestrian access or motorist visibility (see Figure 10-1).
- (b) **Clear Zone:** The clear zone shall be hardscaped, shall be located adjacent to the planting zone, and shall comply with ADA and any local accessibility standards and shall be unobstructed by any permanent or nonpermanent element for the required minimum width and a minimum height of eight (8) feet (see Figure 10-1). Accessibility is required to connect sidewalk clear zones on adjacent sites.
- (c) **Fee In-Lieu Option:** An applicant may opt to pay a proportional fee in-lieu for the required sidewalk if the development project is phased or the sidewalk improvements need to match the timing of a programmed City capital project affecting that street frontage.



Figures 10-1 Illustrations delineating the Streetscape Zone elements

10.2 Street Trees and Streetscape:

- (a) Street trees shall be required within the Planting Zone.
- (b) Street trees shall be centered within the Planting/Furnishings Zone and be planted a minimum of 3' from the face of curb.
- (c) Spacing shall be an average of 40 feet on center (measured per block face) but may not exceed 60 feet on center along all Streets.
- (d) Each tree shall be planted in a planting area no less than 36 sq. feet.

10.3 Screening Standards

- (a) **Street Screen Required:** Any frontage along all Pedestrian Priority and Pedestrian-Friendly Frontages with surface parking at the BTZ shall be defined by a 3-foot high (minimum; may not exceed 4 feet) Street Screen (see Figure 10-2). Furthermore, along all streets (except alleys), service areas shall be screened in such a manner that the service area shall not be visible to a person standing on the property line on the far side of the adjoining street (see Figure 10-3). Required Street Screens shall be of one of the following:
 - i. The same building material as the principal structure on the lot; or
 - ii. A vegetative screen composed of shrubs planted to be opaque at maturity; or
 - iii. A combination of two below:
 - a. The required Street Screen shall be located at the minimum setback line along the corresponding frontage.
 - b. Street Screens cannot block any required sight triangles along a cross street or driveway.
 - c. Street Screens may include breaks to provide pedestrian access from any surface parking or service area to the public sidewalk.

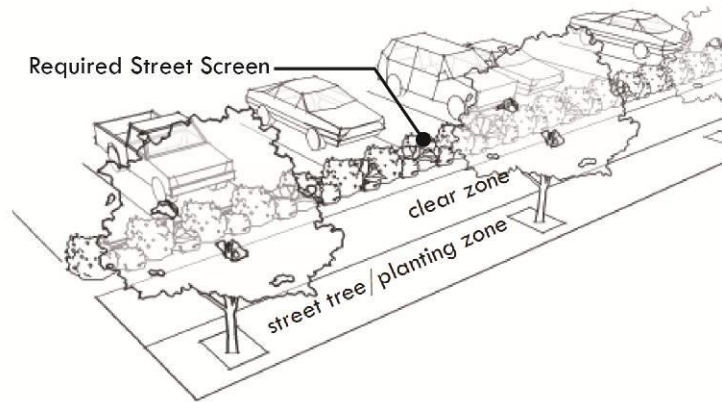


Figure 10-2 Illustration showing required Street Screen along all frontages without a Building within the BTZ

- (b) Screening of Roof Mounted Equipment: All roof mounted mechanical equipment (except solar panels) shall be screened from view of a person standing on the property line on the far side of the adjoining street (see Figure 10-3). The screening material used shall be the same as the primary exterior building material used.

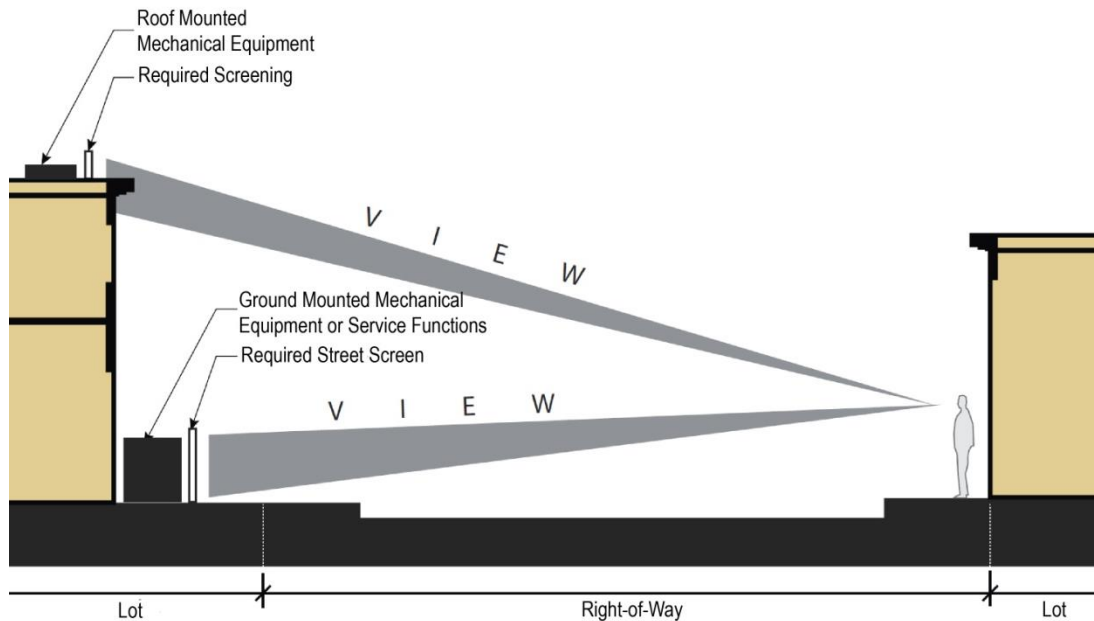


Figure 10-3 Illustration showing required screening of roof and ground mounted equipment

10.4 Street Lighting: Pedestrian scale lighting shall be required along all Pedestrian Priority and Pedestrian-Friendly Frontages within the Plan Area. The following standards shall apply for pedestrian scale lighting:

- (a) They shall be no taller than 20 feet.
- (b) Street lights shall be placed at an average of 80 feet on center or placed on average between every other street tree (whichever is less), a minimum of 3 feet behind the face of curb, preferably lined up with street trees.
- (c) The light standard selected shall be compatible with the design of the street and buildings, but shall be consistent throughout the Plan Area to maintain efficiencies in maintenance.

10.6 Street Furniture

- (a) Street Furniture shall be placed within the Plantings Zone or within the front setback area only. Benches and bike racks will be placed in alignment with light poles and street trees.
- (b) Trash receptacles shall be required for all development along Pedestrian Priority Frontages. Trash receptacles should be placed at street corners, outside of visibility clearance areas per City standards. If development is located mid-block, place the trash can near front entry. This may also be managed through a Public Improvement District (PID), Merchants Association, or other maintenance association.
- (c) Street furniture and pedestrian amenities such as benches are recommended along all Pedestrian Priority Frontages.
- (d) All street furniture shall be located in such a manner as to allow a Clear Zone of a minimum of 5 feet in width. Placement of street furniture and fixtures shall be coordinated with organization of sidewalks, landscaping, street trees, building entries, curb cuts, signage, and other street fixtures.
- (e) Materials selected for paving and street furniture shall be of durable quality and require minimal maintenance.

10.7 Utilities

- (a) All utility lines within private property (from any building to the property line) shall be underground, where feasible.

- (b) Along Reynolds Road (as defined by Attachment 1), utility lines (electric and telecommunications) within the right-of-way shall NOT be above ground within the Streetscape Zone. They shall be placed underground, relocated to the rear of the site or relocated along an Alley to the extent feasible as determined by the Director (See Figure 10-8).
- (c) Along all other streets (except Alleys), overhead utility lines within the right-of-way are encouraged to be placed underground, relocated to the rear of the site, or relocated along an Alley to the extent feasible as determined by the Director. This shall only occur when activated by applicability table in Section 3.

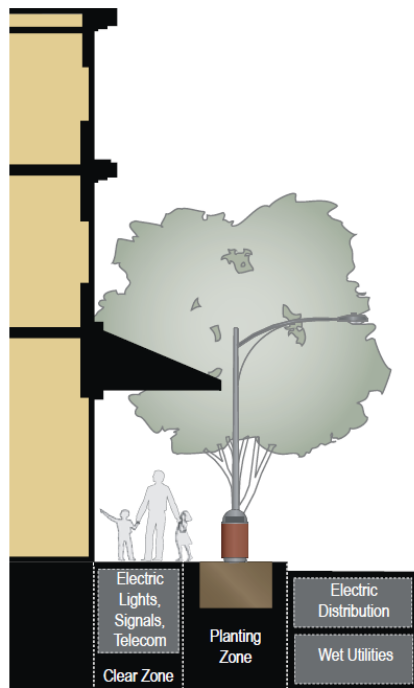




Figure 10-8 Illustrations showing required (along Reynolds Road) and preferred (along all other Streets) utility locations within the Streetscape Zone

- (d) Utility compatible trees (single trunk trees) may be used so that the trees can be located beneath, rather than offset from, the overhead electric utilities if the Director determines that one of the following conditions is met:
1. The lot depth is 120 feet or less and electric utilities need to remain overhead behind the curb within the right-of-way; or

2. The building façade would have to be setback beyond the maximum setback permitted in the specific Character Zone.
- (e) Locations on private property must be found for switchgear and transformer pads needed to serve that property. Such locations shall be either along General Frontages or at the side or rear of the property and screened from view of a person standing on the property line on the far side of any adjoining street (see Figure 10-3).
- 10.8 Parking Lot Landscaping:** All surface parking shall maximize permeability by incorporating green infrastructure techniques to allow infiltration on site.
- 11.0 Sign Standards**
- 11.1 Applicability:** Except for sign types, sign dimensional standards, and as specifically listed below, all other signage and sign standards shall comply with the City of Bryant Sign Regulations.
- 11.2 Prohibited Sign:** The following types of Signs shall be prohibited in the HOB:
- (a) Any sign that flashes, blinks, revolves, or is put into motion will not be permitted;
 - (b) Streamers and inflatable mascots;
 - (c) Portable or wheeled signs and advertising devices on the site other than sandwich board signs permitted in Table 11-1.
- 11.3 Sign Types Permitted:** All development to which this Section is applicable shall comply with the Sign Regulations in Table 11-1 below.

Table 11-1 Permitted Sign Types by Character Zone

LEGEND				
<div style="border: 1px solid black; padding: 5px; display: inline-block; background-color: #f8d7da;">MSMU</div> Main Street Mixed-Use		<div style="border: 1px solid black; padding: 5px; display: inline-block; background-color: #fff3cd;">NT</div> Neighborhood Transition		<div style="border: 1px solid black; padding: 5px; display: inline-block; background-color: #d1ecf1;">NR</div> Neighborhood Transition
Sign Type	Character Zone Allowed	Description	Image	Standard
Permanent Signs				
CORRIDOR MONUMENT SIGNS	<div style="border: 1px solid black; padding: 5px; display: inline-block; background-color: #f8d7da;">MSMU</div>	A sign not attached to a building, but permanently supported by a structure extending from the ground and permanently attached to the ground. A Corridor Monument sign shall be smaller than a Highway Monument Sign.		11.4
BUILDING IDENTITY SIGN	<div style="border: 1px solid black; padding: 5px; display: inline-block; background-color: #f8d7da;">MSMU</div>	A Wall Sign attached to the upper floor of a multiple story building or parapet of single tenant one-story building that provides identification of the entire building. (May be used instead of the Building Projecting Sign)		11.5

LEGEND

MSMUU




Main Street Mixed-Use

NT

Neighborhood
Transition

NR

Neighborhood Transition

Sign Type	Character Zone Allowed	Description	Image	Standard
STOREFRONT and TENANT WALL SIGNS	<p>MSMU</p>	<p>Wall Sign attached to a retail storefront or sign band area directly adjacent to the retail storefront within a multi-tenant building. (May be used instead of a Tenant Canopy Sign)</p>		<p>11.6</p>
BUILDING PROJECTING SIGNS	<p>MSMU</p> <p>NT</p>	<p>Wall Sign that extends a distance of more than 12” perpendicular from the building façade. Sign is placed on the upper floors of a multiple story building. (May be used instead of the Building Identity Sign)</p>		<p>11.7</p>
ROOF SIGNS	<p>MSMU</p>	<p>A sign installed over or on the roof of a building.</p>		<p>11.8</p>

LEGEND

MSMU

Main Street Mixed-Use

NT

Neighborhood
Transition

NR

Neighborhood Transition

Sign Type	Character Zone Allowed	Description	Image	Standard
TENANT CANOPY SIGNS	<p>MSMU</p> <p>NT</p>	A sign mounted to a canopy or awning that is within or directly adjacent to a retail storefront. (May be used instead of a Storefront/Tenant Wall Sign)		11.9
TENANT BLADE SIGNS	<p>MSMU</p> <p>NT</p>	Wall Sign that extends a distance more than 12" perpendicular from the building façade and is oriented towards the sidewalk. Sign is mounted to a retail storefront or may be mounted under a canopy.		11.10
WINDOW SIGNS	<p>MSMU</p> <p>NT</p>	A sign mounted to or intended to be through a window.		11.11

LEGEND

MSMUU



Main Street Mixed-Use

NT

Neighborhood
Transition

NR

Neighborhood Transition

Sign Type	Character Zone Allowed	Description	Image	Standard
DIRECTIONAL SIGNS	<p>MSMU</p> <p>NT</p>	A vehicular sign with directional information intended to direct visitors to various destinations within a larger development with multiple buildings.		11.12
DIRECTORY SIGNS	All	A pedestrian oriented sign containing a listing and or map of the tenants and destinations within an area, block, building or development.		11.13

LEGEND

MSMU




Main Street Mixed-Use

NT

Neighborhood
Transition

NR

Neighborhood Transition

Sign Type	Character Zone Allowed	Description	Image	Standard
<p>SANDWICH BOARD SIGNS</p>	<p>MSMU</p> <p>NT</p>	<p>A temporary sign with two connected faces usually arranged back to back.</p>		<p>11.14</p>
<p>ADDRESS SIGNS</p>	<p>All</p>	<p>A sign containing only the lot, building or retail tenant address.</p>		<p>11.15</p>
<p>MARQUEE SIGN</p>	<p>MSMU</p>	<p>A sign placed over the entrance to a theatre or other public gathering venue. It has signage stating either the name of the establishment or, in the case of theatres or other public venues, the name of the (cont. next pg.)</p>		<p>11.16</p>

LEGEND

MSMUU

Main Street Mixed-Use

NT


Neighborhood
Transition

NR

Neighborhood Transition

Sign Type	Character Zone Allowed	Description	Image	Standard
		<p>event, artist, and other details of the event appearing at that venue. The marquee is often identifiable by a surrounding cache of light bulbs, usually yellow or white, that flash intermittently or as chasing lights. Marquee signs may often be combined with Building Projecting signs.</p>		

Temporary Signs

<p>BANNERS</p>	<p>MSMU</p> <p>NT</p>	<p>A temporary fabric or vinyl sign hung from a building façade, catenaries, or utility pole.</p>		<p>11.17</p>
-----------------------	-------------------------------------	---	--	--------------

LEGEND

MSMUU



Main Street Mixed-Use

NT

Neighborhood
Transition

NR

Neighborhood Transition

Sign Type	Character Zone Allowed	Description	Image	Standard
				
<p>TEMPORARY CONSTRUCTION SIGNS</p>	<p>All</p>	<p>A temporary sign mounted to a building, construction fence, or other structure that announces a new business or construction project.</p>		<p>11.18</p>

11.4 Corridor Monument Sign

	Character Zone	Standards
(a)	MSMU	<ul style="list-style-type: none"> i. Maximum area of 0.5 sq. ft. for each linear foot of street frontage with a maximum of 100 sq. ft. ii. Maximum height of 10 ft. above frontage street pavement grade. iii. One sign per lot iv. For lots fronting two streets, one sign is permitted on each street.

11.5 Building Identity Sign

	Character Zone	Standards
(a)	MSMU	<ul style="list-style-type: none"> i. May be used for single tenant commercial or institutional buildings only (multiple tenant building shall be subject to 12.6 below). ii. May be used instead of a Building Projecting Sign iii. Maximum area of 150 sq. ft. or 12% of linear frontage of façade, whichever is less. iv. Mount no lower than 25 ft. above finished grade. v. No more than 15% of façade area above 25 ft. can contain Building Identity signs.

11.6 Storefront/Tenant Wall Sign

	Character Zone	Standards
(a)	MSMU	<ul style="list-style-type: none"> i. May be used for multiple tenant commercial or institutional buildings only (single tenant building shall be subject to 11.5 above). ii. May be used instead of a Tenant Canopy Sign iii. May be located on the ground floor façade only (sign to be mounted below 25 feet as measured from finished grade outside the facade). iv. One sign per tenant space; area to be calculated at 1.5 sq.ft. per linear foot of tenant space façade along the building’s frontage up to a maximum of 100 sq.ft.

		<ul style="list-style-type: none">v. Sign to be located between demising walls of leased storefront.i. Sign shall not overlap architectural features like window lintels, canopy support points, coping, etc.vi. Wall sign may encroach, a maximum of 12", on to a sidewalk while maintaining a vertical clearance of 8 ft. from the finished sidewalk if it is non-illuminated and 11 ft from the finished sidewalk if it is illuminated.vii. Building signs may be internally or externally lit. <p>Live-Work and Home occupations: One sign limited to an area of 30 sq. ft. max.</p>
--	--	---

11.7 Building Projecting Signs

	Character Zone	Standards
(a)	<div style="border: 1px solid black; background-color: #f8d7da; padding: 5px; margin-bottom: 5px; text-align: center;">MSMU</div> <div style="border: 1px solid black; background-color: #fff3cd; padding: 5px; margin-bottom: 5px; text-align: center;">NT</div>	<ul style="list-style-type: none"> i. Building Projecting sign may be permitted in place of a Building Identity Sign. ii. Maximum area of 200 sq. ft. or 15% of the façade area, whichever is less iii. Will not obstruct any pedestrian or vehicular way (vertical clearance of 8 ft. from the finished sidewalk if it is non-illuminated and 11 ft from the finished sidewalk if it is illuminated). iv. Sign may project no more than 50% of the width of the sidewalk or 6 ft. from building façade line (whichever is less). v. Sign may not extend above building parapet line or eaves line. vi. Maximum of one per facade

11.8 Roof Signs

	Character Zone	Standards
(a)	<div style="border: 1px solid black; background-color: #f8d7da; padding: 5px; margin-bottom: 5px; text-align: center;">MSMU</div>	<ul style="list-style-type: none"> i. Roof sign may be permitted instead of a Building Identity Sign. ii. Maximum area of 200 sq. ft. or 15% of linear frontage of façade, whichever is less. iii. One per building. Only permitted on facades that front the Highway. iv. Maximum height of 5 ft. above the building façade or 5 ft. above the maximum height permitted for a freestanding sign, whichever is lower.

11.9 Tenant Canopy Sign

	Character Zone	Standards
(a)	<div style="border: 1px solid black; background-color: #f8d7da; padding: 5px; margin-bottom: 5px; text-align: center;">MSMU</div> <div style="border: 1px solid black; background-color: #fff3cd; padding: 5px; margin-bottom: 5px; text-align: center;">NT</div>	<ul style="list-style-type: none"> i. May only be used instead of a Storefront/Tenant Wall Sign. ii. One sign per tenant space; area to be calculated at 1.5 sq.ft. per linear foot of tenant space façade along

		<p>the building’s frontage up to a maximum of 100 sq.ft.</p> <p>iii. Sign to be located between demising walls of leased storefront.</p> <p>iv. Sign shall not extend beyond outermost edges of canopy.</p> <p>v. Signs are to be mounted over the canopy, on the face of a canopy or over any awnings</p>
--	--	--

11.10 Tenant Blade Sign

	Character Zone	Standards
(a)	<p>MSMU</p> <p>NT</p>	<p>i. One Blade sign per tenant space</p> <p>ii. May be located on the ground floor façade only (sign to be mounted below 15 feet as measured from finished grade outside the facade)</p> <p>iii. Maximum area of 20 sq. ft.</p> <p>iv. Will not obstruct any pedestrian or vehicular way. Minimum vertical clearance of 8 ft. from the finished sidewalk if it is non-illuminated and 11 ft from the finished sidewalk if it is illuminated.</p> <p>v. Sign may project no more than 3 ft. from building wall or a distance equal to 50% of the width of the abutting sidewalk (whichever is less).</p>

11.11 Window Sign

	Character Zone	Standards
(a)	<p>MSMU</p> <p>NT</p>	<p>i. No permit is required for small-scale (under 1.0 sq. ft. in total area) signs placed at the pedestrian eye level. These exempted signs include: tenant logo and name, website or other social media address store hours and address, and public safety decals as required by applicable codes or government regulations.</p> <p>ii. Window signs include any signage attached to the storefront glazing or located on storefront interior within 3 ft. of the storefront and intended to be</p>

		<p>viewed from the storefront exterior.</p> <p>iii. Maximum area of 25% of overall glazed storefront, including doors.</p>
--	--	--

11.12 Directional Signs

- a. Permitted only for multi-tenant commercial and mixed-use developments with multiple building within one development.
- b. Applies only to signs located at lot entrances accessible from public streets.
- c. Maximum size of 60 sq. ft.
- d. Maximum height of 8 ft. above frontage street pavement grade.
- e. One sign permitted per development entrance. Maximum of two signs per street frontage.
- f. Signs located on interior of site and not intended to be viewed or utilized by traffic on public streets do not require a permit.

11.13 Directory Signs

- a. Signs located on interior of lot and not intended to be viewed or utilized by traffic on public streets do not require a permit. In such cases, any sign lettering or logos used must be less than 2" (max.).

11.14 Sandwich Board Signs

- a. Permitted only for retail, service, or restaurant tenants.
- b. Maximum area of 8 sq. ft. per sign face
- c. Maximum height of 4 ft.
- d. One per storefront.
- e. Sign shall not interfere with any pedestrian way and a minimum of 6 ft. of sidewalk shall remain clear.
- f. Chalkboards may be used for daily changing of messages. Reader boards (electronic and non-electronic) shall be prohibited.
- g. Sign shall be removed every day after the business is closed.

11.15 Address Signs

- a. Allowed per City of Bryant sign regulations.

11.16 Marquee Signs

- a. Permitted for theatres, auditoriums, and other public gathering venues of 100 persons or more
- b. Marquee signs shall be attached to the building or located above or below a canopy only
- c. Area = 100 sq ft. maximum
- d. Message board may be changeable copy (non-electronic).
- e. Electronic message boards shall be permitted with an Administrative Modification.

11.17 Banners

- a. Allowed per City of Bryant sign regulations.

11.18 Temporary Construction Signs

- a. Allowed per City of Bryant sign regulations.

11.19 For Sale/Lease Signs

- a. Allowed per City of Bryant sign regulations.

11.20 Additional Standards

- a. Signs located on interior of a lot and not intended to be viewed or utilized by traffic on public streets do not require a permit.
- b. Retail, service, and restaurant business that wrap a building corner creating two or more storefronts will be permitted to place signs on each storefront.
- c. Any encroachments into the public right-of-way may require additional license agreements with the city.